

CITY OF UNION



Spring 2021 NEWSLETTER

Congrats to Union Homes CHOSEN BY THE CITY OF UNION PARK BOARD FOR 2020!

These homes have been recognized for being the most festive, brightest, illuminated homes in the City of Union during this holiday season.

101 Cabernet • 880 Old Springfield • 198 Carol Lane
199 Preakness • 102 Churchill • 204 Riesling
14 Hitching Post • 108 Shoemaker • 104 Irongate
649 Skyles • 108 Krug • 137 Union Ridge • 109 Krug
100 Waldwick • 119 Krug • 154 Westrock
37 Laurelgrove • 110 Williams Way • 148 Lightner

WATER QUALITY REPORT



The City of Union 2020 Consumer Confidence Report for water is available on the City of Union's website at <https://bit.ly/3dUTpTp> or https://www.unionoh.org/sites/g/files/vyhlf3961/f/pages/ccr_report_2020.pdf

If a paper copy is preferred, it can be obtained by calling 937-836-8624. This report includes important information about water quality in our community. We have a current, unconditioned license to operate our water system.

SPIRIT OF UNION *Award*

Have you noticed if someone on your street is sprucing up their property, adding flowers to the landscape, giving the house a fresh coat of paint, or making other improvements? You might consider nominating them to receive the Spirit of Union Award.

The Park Board is accepting nominees for both residential and business owners that have enhanced the appearance of their properties. To see the most recent award winners check out the City of Union website or check out the following link at:
<https://bit.ly/3uH4Uok>



The last six recipients are featured on our website. If you want to nominate an outstanding property in town call City Hall at 937-836-8624.

HYDRANT FLUSHING

Come this spring, our firefighters will be out performing the annual hydrant flush and preventative maintenance. If you see them out and about, be sure to say hello! Stay tuned for more information from the city for exact dates of the hydrant flushing.

SPEED UP THE DELIVERY OF YOUR MONTHLY WATER BILL

Some of our residents have experienced a delay in getting their utility bills. The City of Union always sends out the utility bills on the last working day of the month. The utility bills are taken to the post office and the city complies with all of the U.S. Postal regulations. After that, the city does not have any information or control of mail delivery.

In addition, we have seen that residents that are mailing their payments back to the city, are also experiencing delays in having their mail delivered. The city is encouraging residents to have the city utility bill emailed to them every month. This ensures prompt delivery of your bill.

Here's a link for a form to sign up for this service: <https://bit.ly/2OINacR>

In addition to mailing in the utility payment, the city has a drop box behind the building, will take payments in the office, cash, check, money order, and most charge and debit cards. The city also offers auto draft where the utility amount is paid from the account on the due date.

Here is the link to that form on the website: <https://bit.ly/3uCWRJg>



STORMWATER IN YOUR BACKYARD

People comment occasionally that they have stormwater in their backyards and then ask what can I do about it? This is good question. To them it is a little flood, and they aren't very happy about it.

There may be reasons why this temporary "flooding" may be a good thing.

If this flooding only happens occasionally, like during really wet weather, this is probably a necessary short term detention of stormwater which will help to prevent more serious flooding of other properties downhill.

Temporary detention also allows some stormwater to drain into the ground, thereby replenishing the groundwater. The EPA says that's a very good thing.

If, however, you are still concerned, take a photo of the flood at its peak. Then, call the City offices (937 836-8624) and explain your concern; someone will stop by to check it to be sure that it isn't caused by some other factor that needs to be dealt with. For example, one person is not allowed to suddenly change their drainage situation in a fashion that causes neighboring flooding. Or, perhaps a culvert has become clogged.

People also ask on occasion who is responsible for keeping stormwater drainage paths open and properly working. Is it right for stormwater to be crossing my back yard? That answer is almost always yes. It is also a fact that the land owner is responsible for maintaining the natural path of stormwater across any land they own. For example, they can't just install a stockade fence or shed that causes a serious change in the course of that natural drainage.

Most of the stormwater by design, collects in easements, which is a portion of a homeowner's property. The purpose of the easement is to have the space for utilities that everyone needs, such as electric and gas and internet and cable lines, both above and below the ground.



Easements are also used to channel stormwater away from homes and travel to other drainage areas where it continues to flow or dissipate in the stormwater system. Permits do not allow structures within the easements. Even locating a small storage shed in a corner of the property on an easement, would either block the stormwater flow, keeping the water in the homeowner's own yard, or act as a dam, blocking the natural planned stormwater path in a neighbor's yard. Any blocking or filling in an easement, could flood a street or even cause an icy street in the winter. Who would think of the importance and increased safety for a well-designed and maintained stormwater system can benefit individual properties and roads throughout the city!

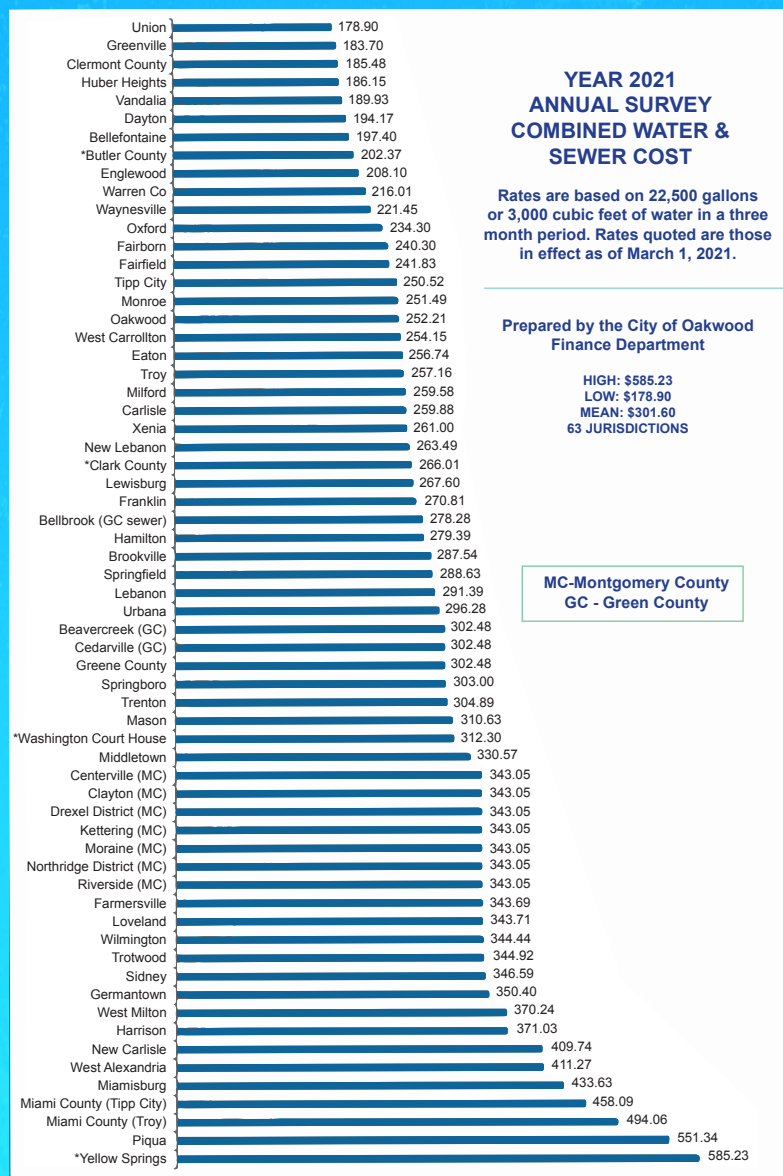
PRE-SALE INSPECTIONS

An exterior inspection is required of all properties before they can be sold. The current property owner should stop by City Hall to complete an application and pay an inspection fee of \$50. A City of Union building inspector then will inspect the exterior of the property, including the exterior of the building and any other structures on the property, including driveways, storage sheds, etc. Any violations to the City's Property Maintenance Code will need to be resolved before the property is sold, or arrangements will need to be made to transfer the required repairs to the new property owner. Click to view form: https://www.unionoh.org/sites/g/files/vyhlf3961f/uploads/presale_application.pdf



UNION'S WATER & SEWER RATES

Union's combined water and sewer rates are lowest in the Miami Valley Region, based on an annual rate survey conducted by the City of Oakwood in 2021. Here is a copy of the combined rates for water and sewer.



To see the entire survey, check out of website at the following link: <https://bit.ly/2Rwvfr1>

Guide to Property Maintenance & Required Permits

This enclosure to the Spring 2021 City of Union newsletter generally outlines the requirements of the Property Maintenance Code of the City of Union. Please use this checklist to evaluate your property. We appreciate your compliance with these important community regulations. If you have questions, please call us at 937- 836-8624. We're happy to discuss specifics.

Why a Code? The Property Maintenance Code sets minimum standards so a property owner clearly knows what maintenance is expected. Plus, it provides assurance to all residents that their neighbors will do the same. In general, the exteriors of all properties in the City of Union should be structurally sound, and free of nuisances, unsanitary conditions, and hazards, to ensure the safety of occupants, pedestrians, and others, and to help protect property values. It is the property owner's responsibility to comply with property maintenance measures. To further protect property values in our neighborhoods, the City of Union also passed legislation requiring the exterior inspection of properties before they are sold.

Pre-Sale Inspections. An exterior inspection is required of all properties before they can be sold. The current property owner should stop by City Hall to complete an application and pay an inspection fee of \$50. A City of Union building inspector then will inspect the exterior of the property, including the exterior of the building and any other structures on the property, including driveways, storage sheds, etc. Any violations to the City's Property Maintenance Code will need to be resolved before the property is sold, or arrangements will need to be made to transfer the required repairs to the new property owner. Adding a pre-sale inspection is an expansion of the existing zoning code and is designed to prevent deterioration of properties. The pre-sale inspection does not replace other inspections such as those for termites, plumbing, interior, etc.

Who's Affected? All owners of properties or structures within the City of Union must comply with the Property Maintenance Code.

Who Enforces the Code? The City Building & Zoning Department has the responsibility to enforce the code.

How Will It be Enforced? It will be enforced initially by a formal notice of violation when inspectors observe significant deficiencies on a property. Later, specific legal steps may be implemented to gain compliance and protect the rights of all residents.

Why Comply? Property maintenance benefits property owners and neighborhoods by protecting property values. Compliance also avoids possible fines that may be imposed if property owners fail to correct property deficiencies.

CODE CHECKLIST:

___ Refuse. Properties should be free of broken glass, stumps, garbage, and other debris.

___ Placement of Receptacles. Containers for all residential garbage and residential rubbish and recycling materials shall be placed at the street curb or alley right-of-way line not sooner than twelve hours before the beginning of the day of normal collection thereof. For the purposes hereof, the beginning of the collection day shall be considered to be at 7:00 a.m.

___ Removal of Empty Receptacles. Empty containers shall be removed from the street curb or alley right-of-way line within twelve hours after the end of the collection day. For the purposes hereof, the end of the collection day shall be considered to be 10:00 p.m.

___ Natural Growth and Weeds. Dead trees and limbs or other natural growth that is rotting should be removed. Vines, grasses, rank vegetation, and noxious weeds, any of which that are 6 inches or more in height, should be cut down.

___ Landscaping. Properties should be maintained, with lawns, hedges, and bushes kept from becoming overgrown or decayed. Grass may not exceed a height of 6 inches. All trees and bushes along sidewalks and streets should be trimmed back to provide a clear height of 10 feet above the surface of the sidewalk and 12 feet above the surface of the street. Overhanging branches should be trimmed back to the property line. If a property backs up to a City- owned greenspace, that area may not be used for gardening, planting of bushes, flowers, trees, etc. If there are any questions concerning this space, then please contact the City's zoning inspector.

___ Yard Waste. Yard waste should be disposed of properly. Or, if yard waste is composted, it must be maintained properly, and kept in the rear yard, so as to not create a nuisance for adjacent properties. Dumping of grass and weed clippings, tree limbs, or other debris on private property or City parks/greenspaces is prohibited.

___ Foundation Walls and Basements. They should be structurally sound, free from defects and damage, and capable of bearing loads safely. Basements should be sound and maintained to prevent the entrance of rodents, wood-boring insects, rain, or water runoff.

___ Chimney and Flue-Vent Attachments. These features must be maintained to be structurally sound, free from defects, and capable of performing the functions for which they were originally designed.

___ General Maintenance. The exterior walls, trim, doors, and window casings of every structure and accessory building should be structurally sound and kept painted and/or coated to prevent decay. Paint should be lead-free. Exteriors should be free of broken or unusable windows, crumbling stone or brick, peeling paint, or other conditions that reflect deterioration.

___ Roofs, Gutters, and Downspouts. Roofs should be maintained to be free of leaks and rot. Drainage should be collected in suitable downspouts, which may discharge into splash blocks or other devices provided that no excess water flows into adjoining properties or over sidewalks. Downspouts should be free of clogs and rust. Connecting any pipe carrying roof water or yard drainage to a sanitary sewer is prohibited.

___ Design Schemes. Garish design schemes must be modified to eliminate obvious negative impacts on surrounding properties.

___ Junk, Inoperable, or Unlicensed Vehicles. Properties must be free of junk, inoperable, or unlicensed vehicles. Repairing any such vehicle or trailer is prohibited anywhere on the exterior property, including on the front driveway.

___ Utility Trailers. These trailers must be stored in the rear yard only.

CITY OF UNION | Guide to Property Maintenance & Required Permits

___ Trailers, RVs, Mobile Homes, and Boats. Trailers, recreational vehicles, tents, garages, or temporary buildings cannot be used as residences. RVs, can be parked in the front or side yard of residential properties, except for a loading or unloading period, not to exceed 48 hours. RVs, trailers, and boats less than 6 feet in height may be parked or stored in the side yard of residential districts if screened by a 6-foot solid or privacy fence.
e. Temporary parking of a mobile home is permitted for up to 48 hours; it cannot be used as a residence.

___ Operable Vehicles and Commercial Trucks. All operable vehicles should be parked on a paved surface. Parking or storing any truck or commercial vehicle more than 11,500 pounds is prohibited in the front yard, including on the front driveway.

___ Porches. Foundations should be sound; the porch, guardrails, handrails, and porch stairs should be safe and without rot. Porches require a building permit.

___ Additions or Separate Structures. They should be sound and capable of serving their original purpose. Applicable permits should have been obtained for their construction. If the structure has a garage door, it must have a paved driveway. If a garage is to be converted to living space, the permit will require the existing driveway to be enlarged to accommodate the loss of a parking space. The enlargement of the driveway will not be required if the property is in compliance with parking requirements. When converting a garage into a living area, the construction must include adding a footer under the garage door, leveling the floor, and adding appropriate insulation.

___ Driveways and Other Paved Areas. All off-street parking areas must be either asphalt, concrete, brick, brick paver, or other similar hard-surfaced material. Specific requirements are available at the City Building. Permits are required for replacing deteriorating concrete or blacktop. Best results occur when the original, crumbling layer is removed. Sealing a driveway does not require a building permit.

___ Fences, Walls, and Other Non-Residential Exterior Structures. Accessories such as fences, walls, signs, etc., should be maintained and firmly anchored, with painted and/or protected surfaces to prevent decay and hazard. All fences and signs require a permit. Regulations may vary among subdivisions.

___ Reconstruction of Walls and Siding. Reconstruction of these features should be of standard quality and appearance commensurate with the character of the neighborhood.

___ Free From Infestation. All areas of properties should be maintained to prevent infestation from rodents, insects, and other animals.

___ Pools. Pools are regulated in Union for safety reasons. Even inflatable pools, if the sides are 24 inches or higher, require a building and if applicable an electrical permit. Check with the City's zoning inspector for details.

___ Storage Sheds. Storage sheds require a building permit and must be located in the rear yard. Check with the City's zoning inspector for regulations regarding the size, foundation, and placement on the property.

___ Temporary Storage Containers. Containers such as PODs (Portable on Demand) are permitted but do require a permit. The location and time used are specified in the City of Union's building code.

___ Permanent Signs and Billboards. All signs and billboards exposed to public view must be maintained or otherwise removed. Permits are required.

___ Home Occupations. Generally, office-related home occupations that do not change the appearance of the residential property or increase traffic on the street are permitted, but please contact the City first about the proposed home occupation.

___ Pets. Dogs must be secured on the property of the owner, either by way of leash, fence, or contained inside the home. Dogs are not allowed to run loose while on walks; they should be tethered on a leash no longer than 6 feet. By City Ordinance, pet owners must immediately pick up after their pets on walks and in public areas and also routinely take care to keep their property clean of pet waste. Also, owners should take measures to prevent a dog's prolonged howling or barking. Vicious animals, including vicious dogs, are prohibited in the City of Union. Vicious animals are those that bite or have a propensity to cause harm to humans or animals. Residents must limit the number of dogs and cats to no more than two of each per household.

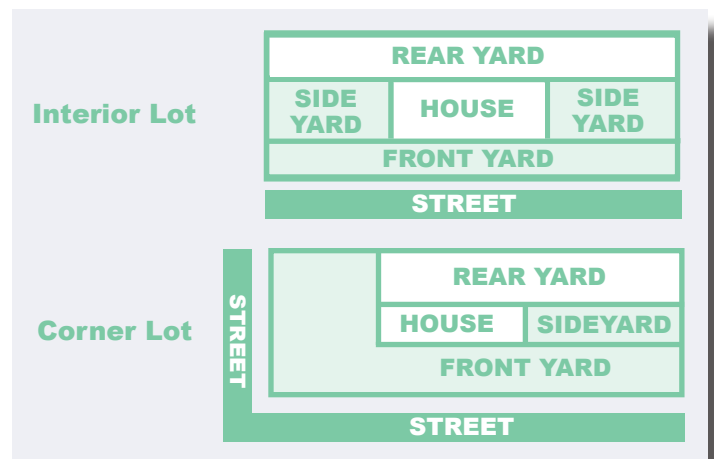
PERMITS:

The City of Union requires permits for certain projects, structures, and activities. Some projects, such as plumbing projects, require a permit from Montgomery County. Please contact the City of Union for details about each permit or if you have any questions about if a project does or doesn't require a permit. Items requiring permits:

- Air conditioning
- Decks
- Driveways
- Electrical
- Fences
- Fireplaces/wood stoves
- Garages
- Garage sales
- Gas
- Heating
- Home construction and structural remodeling, including converting garages
- Patios/patio enclosures
- Peddlers/solicitors
- PODs (Portable on Demand) storage containers
- Pools
- Pre-sale property inspections
- Rehabilitation of properties
- Room additions
- Satellite dishes
- Sewer lateral replacement*
- Sidewalks
- Signs
- Storage sheds
- TV and radio towers

*Residents must notify City Hall if they plan to replace their sewer lateral. Because most sewer laterals are connected to the City's sewer main within the street, either the contractor or the homeowner must post a \$500 bond to ensure that any sidewalk, curb, or street asphalt is properly replaced. The City will inspect these repairs before releasing the bond.

Corner and regular lots have different definitions of "front yard." Use this representation to understand the definition as it applies in the City of Union Property Maintenance Code.





The City of Union Newsletter

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www.unionoh.org

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937-836-0177

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937-832-0912

Councilwoman Lynne Thomas-Roth
937-671-6613

Councilman David Blackwell
937-470-6695

Councilwoman Jean Kyle
937-832-2811

Councilwoman Helen Oberer
937-832-3269

Councilwoman Robin Perkins
937-832-3902
Robin.perkins.council@unionoh.org

PET DO'S AND DON'TS IN THE CITY OF UNION

Residents are required to limit the number of dogs and cats to no more than two of each per household. Pets are not allowed to run at-large in the City limits. Dogs must be secured on the property of the owner, either by way of leash, fence or contained inside the home.

Dogs are not allowed to run loose while on walks; they should be tethered on a leash no longer than 6 feet. Owners should take care to clean up after their dogs, especially in public areas, and owners should take measures to prevent a dog's prolonged howling or barking.

If you see a pet running loose, contact the Union Police Department at **937-836-2678**.

CITYWIDE GARAGE SALE JUNE 10, 11, 12

Union will have their citywide garage sale this year on **Thursday, Friday, and Saturday, June 10, June 11, and June 12**. No permits are necessary for this weekend!

Call **937-836-8624** by the **June 2** deadline to have your sale listed and your address will be included in a garage sale ad in the local newspaper. Union will also have a list of the street addresses of the garage sales and maps available at city hall.

Having a garage sale is a great way to do some spring cleaning and earn extra cash.

**Save the date for the fall garage sales,
September 9, 10, 11.**